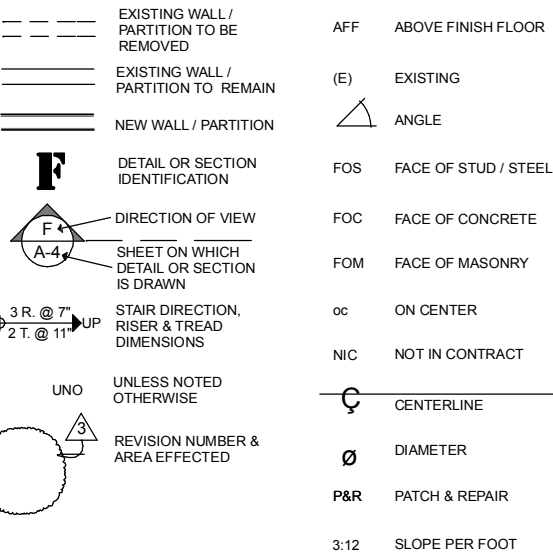
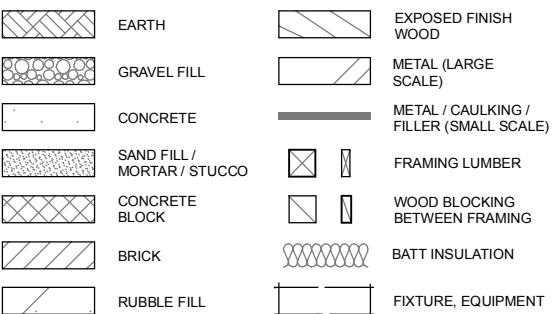


C:\AAAAA\01 Projects\0807 Station\12-CD\02Pmk\_Lbk\0807\_Sls\1\_Dorm.lbk

ARCHITECTURAL SYMBOLS



MATERIAL SYMBOLS



Architectural Symbols

SCOPE OF WORK

- A. SCOPE STATEMENT: THIS IS A GENERAL STATEMENT INTENDED TO APPLY TO AND SUPPLEMENT GRAPHIC AND WRITTEN MATERIAL INCLUDED IN THESE DOCUMENTS AND IN THE CONTRACT FORM.
- B. THIS PROJECT IS A "TENANT IMPROVEMENT" OF THE EXISTING SECOND FLOOR DORMITORY AND BATHROOM AREAS IN THIS EXISTING FIRE STATION. WORK ITEMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING.
- DEMOLISH EXISTING PARTITIONS AS DESIGNATED IN THE DRAWINGS.
  - REMOVE EXISTING FINISH FLOORING THROUGHOUT THE PROJECT AREA, INCLUDING ANY EXISTING TACK STRIPS AND GLUE AND MORTAR RESIDUE.
  - PREPARE EXISTING CONCRETE SUBFLOOR SURFACE IN BATHROOM AREA FOR STAINING AND SEALING.
  - EXPAND AND REROUTE EXISTING HEATING AND PLUMBING SYSTEMS.
  - EXPAND AND REROUTE EXISTING ELECTRICAL SYSTEM.
  - PENETRATE, PATCH AND REPAIR EXISTING COMPOSITION ROOFING AS REQUIRED TO INSTALL SCHEDULED BATHROOM EXHAUST FANS.
- C. ALTERNATES:
- INSULATE EXISTING ROOF.
  - REPLACE EXISTING ENTRANCE WALKS WITH ACCESSIBLE SYSTEM.
- D. ALLOWANCES:
- NONE.

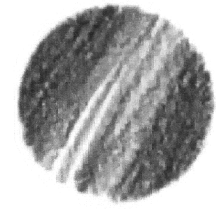
BUILDING CODE NOTES

- A. REFERENCE CODES:
- 2007 EDITION, CALIFORNIA BUILDING CODE
  - 2007 EDITION, CALIFORNIA MECHANICAL CODE
  - 2007 EDITION, CALIFORNIA FIRE CODE
  - 2007 EDITION, CALIFORNIA PLUMBING CODE
  - 2007 EDITION, UNIFORM ADMINISTRATIVE CODE
  - 2007 EDITION, CALIFORNIA ELECTRICAL CODE
  - 2005 EDITION, CALIFORNIA ENERGY CODE
  - OTHER APPLICABLE CODES AND REGULATIONS ENACTED BY CITY OF SAN BRUNO AND COUNTY OF SAN MATEO.
- B. OCCUPANCY: B/S-2
- C. CONSTRUCTION: TYPE VB

BID ALTERNATIVES


THE FOLLOWING WORK IS TO BE BID AS AN ADDITIVE ALTERNATIVE TO THE BASE BID DESCRIBED IN THESE DOCUMENTS. CONSTRUCTION PRICE FOR THIS WORK SHALL BE LISTED SEPARATELY SO THAT IT CAN BE CONSIDERED FOR INCLUSION IN THIS PROJECT BY ADDING THAT COST DIRECTLY TO THE BASE BID.

- ROOF INSULATION  
ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL SPECIFIED INSULATION BETWEEN EXISTING ROOF JOISTS AS SHOWN IN THESE DOCUMENTS.
- ACCESSIBLE ENTRANCE TO BUILDING  
ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO REPLACE EXISTING WALKS LEADING TO THE FRONT ENTRANCE OF STATION 51 WITH SYSTEM SHOWN ON SHEET A-2.



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SHEET NOTES

SHEET INDEX	
Sheet No.	Sheet Title
<b>A-1</b>	TITLE SHEET: ENERGY ANALYSIS; SCOPE OF WORK; NOTES
<b>A-2</b>	ACCESSIBLE ENTRANCE PLAN & DETAILS
<b>A-3</b>	(E) GROUND FLOOR PLAN
<b>A-4</b>	(E) SECOND FLOOR PLAN / DEMOLITION PLAN
<b>A-5</b>	SECOND FLOOR PLAN - ALTERATIONS
<b>A-6</b>	CROSS SECTIONS
<b>A-7</b>	INTERIOR ELEVATIONS
<b>A-8</b>	ELECTRICAL PLAN & DETAILS
<b>A-9</b>	SPECIFICATIONS & SCHEDULES
<b>A-10</b>	NOT USED
<b>A-11</b>	NOT USED

SCHEDULE INDEX	
Schedule Title	Sheet No.
BATHROOM ACCESSORIES	<b>A-7</b>
BEAMS & HEADERS	
DOORS	<b>A-9</b>
FINISHES	<b>A-9</b>
LIGHT FIXTURES	<b>A-8</b>
NAILING	<b>A-6</b>
PAD FOOTINGS	
PLUMBING FIXTURES	<b>A-9</b>
SHEAR WALLS	
WINDOWS	

Alterations to  
Fire Station 51

City of  
San Bruno

555 El Camino Real  
San Bruno CA 94066

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REVISIONS	
DESCRIPTION	DATE
6	
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PROJECT PHASE  
**CONSTRUCTION DOCUMENTS**

SHEET TITLE  
**Title Sheet**

SCALE: AS NOTED  
DATE: 22 May 2009  
FILE: 0807CD

SHEET NUMBER: **A-1** OF 9

Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R

NOTE: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (\*) below. When this checklist is incorporated into the permit documents, the measure noted shall be considered by all parties as minimum required performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

DESCRIPTION	N/A	DESIGNER	BY	DATE
Space Conditioning, Water Heating and Plumbing System Measures: (continued)				
§ 150(a) Ducts and Fans				
1. All ducts and plenums installed, sealed and insulated to meet the requirements of the CBC Sections 091, 092, 093, 094, 095, and Standard 6.1, supply air and return air ducts and plenums are insulated to a minimum installed level of R-4.2 or embodied energy in conditioned space. Overlapped shall be sealed with mastic, tape or other duct-sealing system that meets the applicable requirements of UL 181, UL 184, or UL 181B or an equal system that meets the requirements of UL 723. If mastic or tape is used to seal covering is water 1/4 inch. The combination of mastic and other seals or tape shall be used.				
2. Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in service and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.				
3. Joints and seams of duct systems and their components shall not be sealed with duct-bonded adhesive duct tapes unless such tape is used in combination with mastic and draw bands.				
4. Exhaust fan systems have back draft or automatic dampers.				
5. Gravity ventilating systems serving conditioned spaces have either automatic or readily accessible, manually operating dampers.				
§ 116 Pool and Spa Heating Systems and Equipment				
1. A thermal efficiency that complies with the Appliance Efficiency Regulations, on-off switch mounted outside of the heater, unattended operating instructions, no electric resistance heating and no pilot light.				
2. Systems is installed with: a. At least 3/8" of pipe between filter and heater for future, solar heating. b. Cover for outdoor pool or hot tub cover.				
3. Pool systems have disconnected water and a ventilation pump time switch.				
§ 115 Gas-fired fan-forced central furnaces, pool heaters, spa heaters or household cooking appliances have no continuously burning pilot light. (Exception: Non-electrical cooking appliances with pilot < 150 Btu/hr)				
§ 119 B. On-fan material meets specified criteria				
§ 150(b) HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR: HID, contain only high efficacy lamps as outlined in Table 150-C, and do not contain a minimum energy lower bound (EMLB) Ballasts for lamps 10 Watts or greater are electric and have an output frequency no less than 20 kHz.				
§ 150(c) HIGH EFFICACY LUMINAIRES: OUTDOOR HID, contain only high efficacy lamps as outlined in Table 150-C, luminaires has factory installed LED ballast.				
§ 150(d) Permanently installed luminaires in kitchens shall be high efficacy luminaires, up to 50% of the wattage, as determined in Section 150(c), or permanently installed luminaires in living/dining/bedrooms shall be high efficacy luminaires, provided that these luminaires are controlled by automatic controls that control the high efficacy luminaires.				
§ 150(e) Permanently installed luminaires in bathrooms, garages, laundry rooms, utility rooms shall be high efficacy luminaires. OR are controlled by an occupant sensor that complies with Section 110(d).				
§ 150(f) Permanently installed luminaires located other than in kitchens, bedrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires except those less than 10 W, OR are controlled by a dimmer switch OR are controlled by an occupant sensor that complies with Section 110(d) that does not turn on automatically or have an always on option.				
§ 150(g) Low wattage ballasts that are connected into insulated ceilings are approved for zero discharge insulation cover (ZIC) and are certified to 30 W, ETL listed and labeled as an LED (VLT) or less than 2.2 CFM at 75 Pascals.				
§ 150(h) Luminaires providing outdoor lighting and permanently no more to a residential building or to other buildings on the same lot shall be high efficacy luminaires including lighting provided by outdoor lighting pole-mounted luminaire or other listed LED luminaires. OR are controlled by an occupant sensor with integral photo control certified to comply with Section 110(d).				
§ 150(i) Lighting for parking lots for 4 or more vehicles shall have lighting that complies with Sections 101, 102, and 103.				
§ 150(j) Permanently installed lighting in the workplace, non-workplace of non-workplace buildings with five or more dwelling units shall be high efficacy luminaires. OR are controlled by an occupant sensor(s) certified to comply with Section 110(d).				
EnergyPro 4.4 by EnergyGulf	User Number: 2289	Job Number: 00-119	Page 2 of 2	

BASIS OF ENERGY ANALYSIS

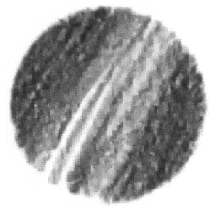
THIS PROJECT FALLS WITHIN THE ENERGY CODE DEFINITION OF A SINGLE-STORY RESIDENTIAL OCCUPANCY. THIS ANALYSIS IS BASED ON THIS OCCUPANCY AND RESULTS IN THE TWO MANDATORY MEASURES SHEETS ON THIS SHEET.

PLUMBING FIXTURE CALCULATION

ROOM TYPE	QUANTITY	AREA	TOTAL AREA	OCCUPANCY RATIO	OCCUPANCY	REFERENCE	REMARKS
Second Floor	1	2,436 sq ft	2,436 sq ft	1,200 sq ft	13	CBC Table A-29A	
Occupancy Distribution: 13 / 2 = 7 MEN + 7 WOMEN							
FIXTURE TYPE	REQUIRED RATIO	REQUIRED FIXTURES	QUANTITY PROVIDED	REQUIRED FIXTURES	QUANTITY PROVIDED		
	MEN	WOMEN	MEN	WOMEN			
Toilets	1:15	1:15	1	1	2	CPC Table 4-1	
Urinals			0	1	0	CPC Table 4-1	
Lavatories	1:40	1:40	1	2	2	CPC Table 4-1	
Showers	1:8	1:8	1	2	2	CPC Table 4-1	

ENERGY ANALYSIS

PLANNING CONDITIONS



Robert S. George, FAIA  
Architect

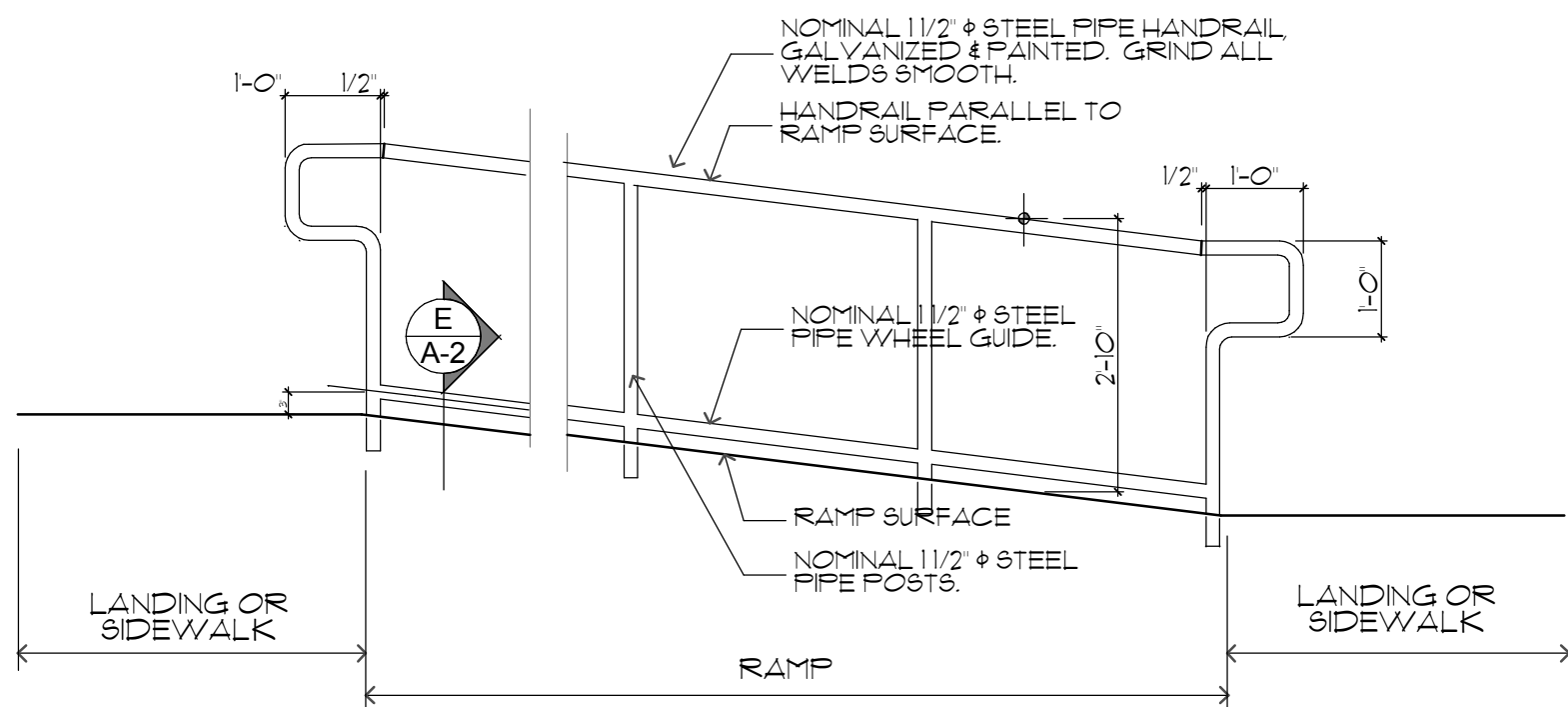
90 South Spruce Avenue, Suite C-2  
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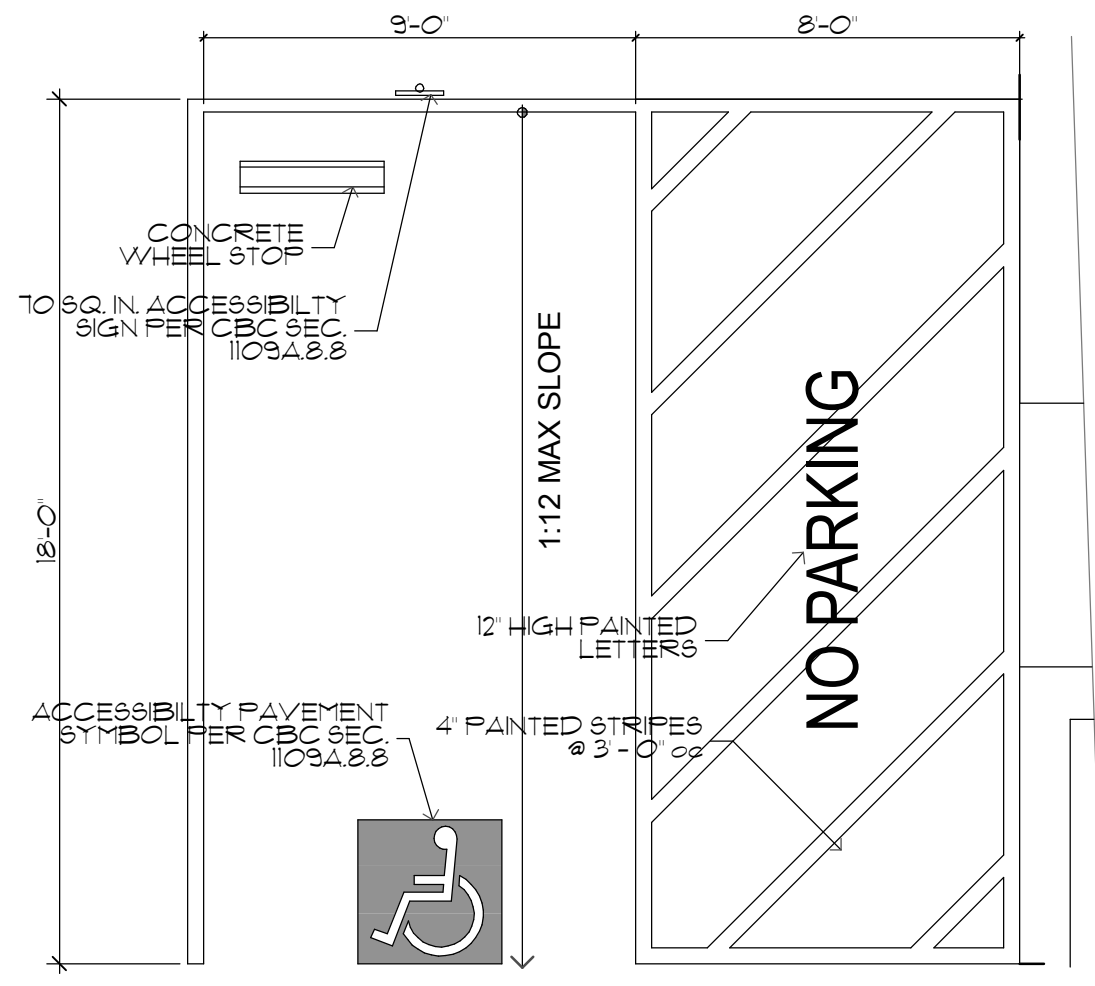
SHEET NOTES



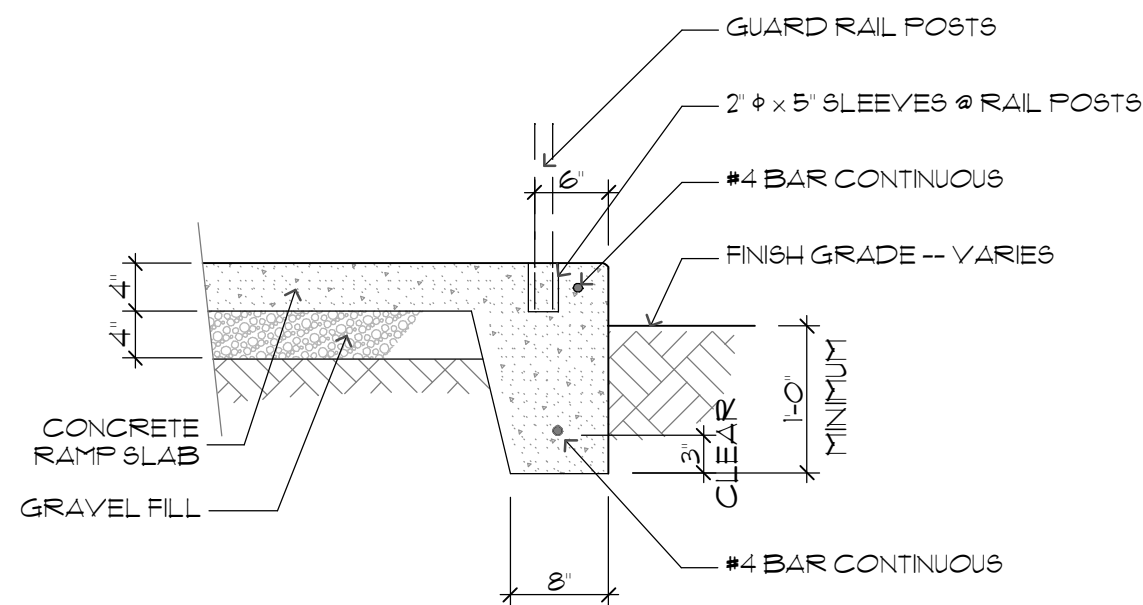
**F** Existing Site Photo  
SCALE: 1" = 80'-0"



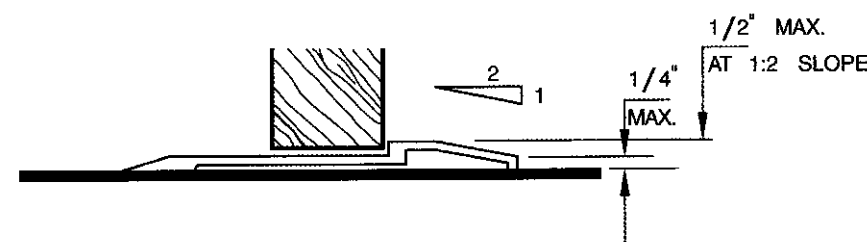
**C** Ramp Rail Elevation  
SCALE: 1/2" = 1'-0"



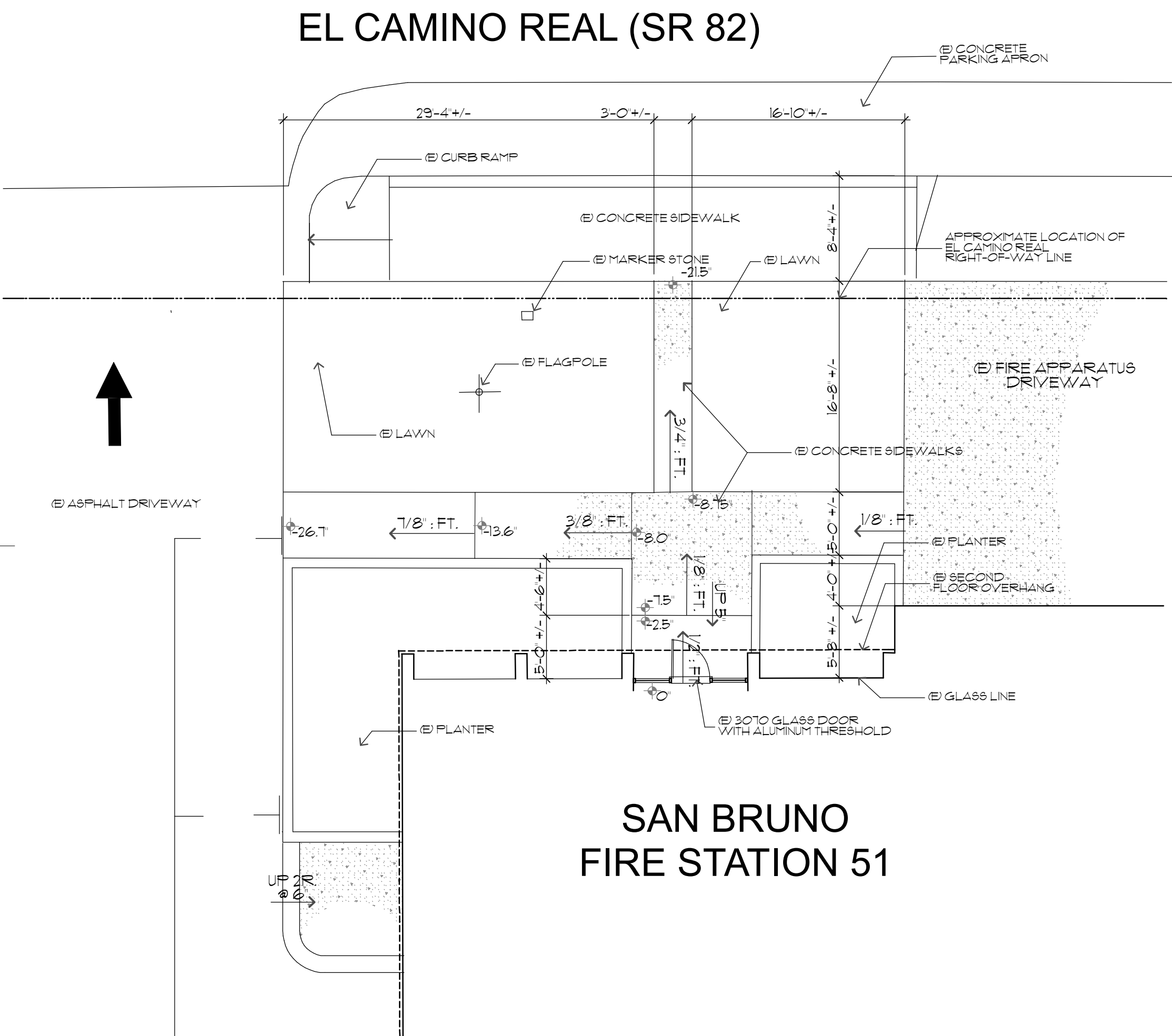
**H** Van Accessible Stall  
SCALE: 1/4" = 1'-0"



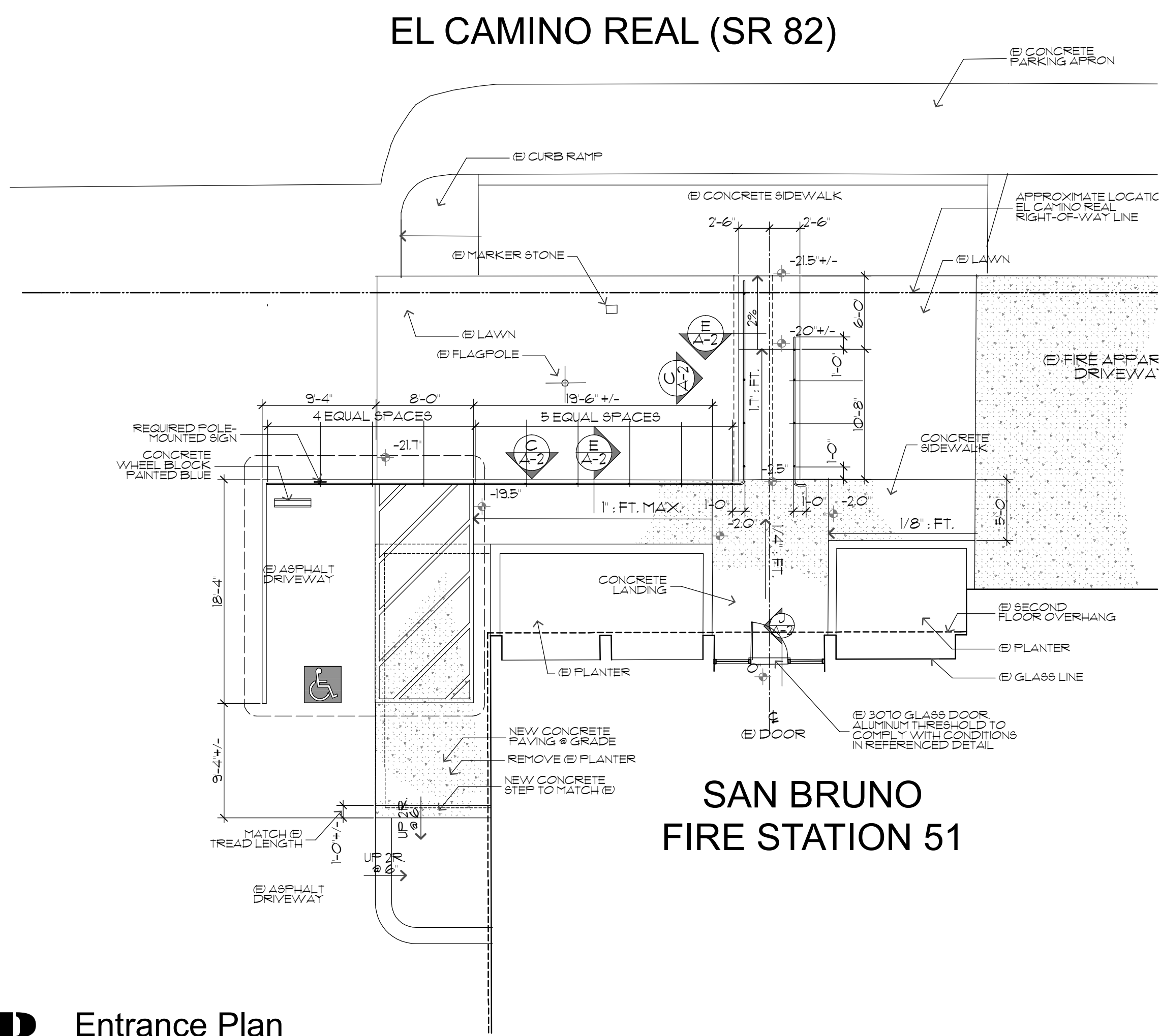
**E** Ramp Edge  
SCALE: 3/4" = 1'-0"



**J** Accessible Threshold  
NOT TO SCALE



**P** Enlarged (E) Entrance Plan  
SCALE: 1/8" = 1'-0"



**R** Entrance Plan  
SCALE: 1/8" = 1'-0"

Alterations to  
Fire Station 51

City of San  
Bruno  
555 El Camino Real  
San Bruno CA 94066

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REVISIONS

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PROJECT PHASE

CONSTRUCTION DOCUMENTS

SHEET TITLE

Accessible Entrance Plan

SCALE: AS NOTED  
DATE: 22 May 2009  
FILE: 0801CD

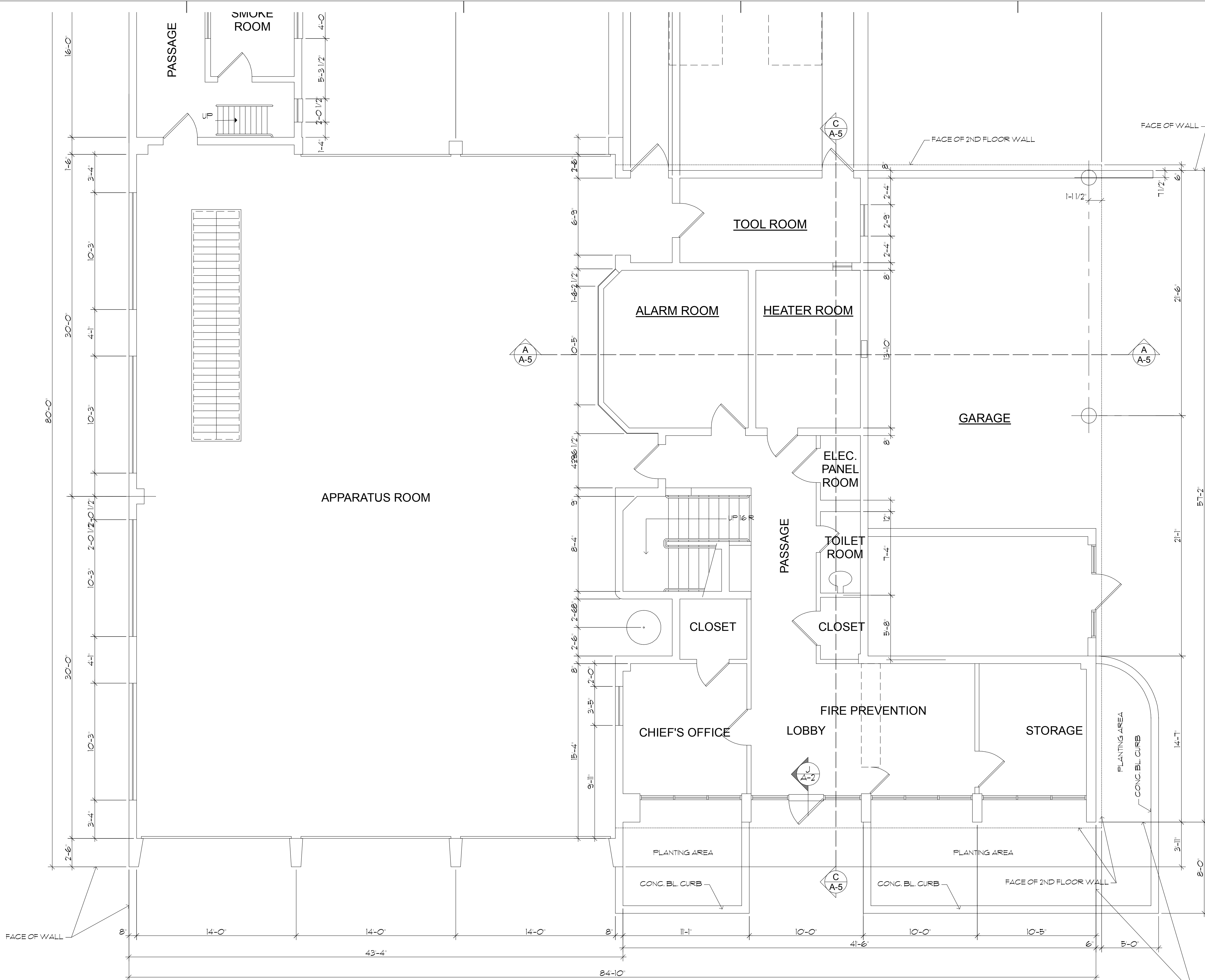


SHEET NUMBER:

**A-2**

OF 9

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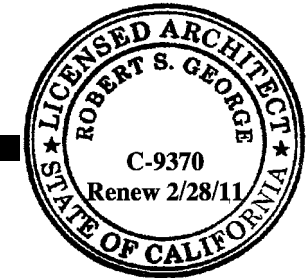


**EXISTING GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0" FLOOR AREA: 4,534 sq ft



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SHEET NOTES

Alterations to  
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Bruno

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DESCRIPTION	DATE
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PROJECT PHASE  
**CONSTRUCTION DOCUMENTS**

SHEET TITLE

**(E) Ground Floor Plan**

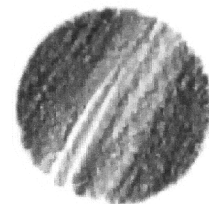
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DATE: 22 May 2009  
FILE: 0807CD

SHEET NUMBER:

**A-3**

OF 9

C:\AAAAA\01 Projects\0807 Station\12-CD\02Pmk Lbk\0807 Sta51 Dorm.lbk



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SHEET NOTES

Alterations to  
Fire Station 51

City of San  
Bruno

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PROJECT PHASE

CONSTRUCTION DOCUMENTS

SHEET TITLE

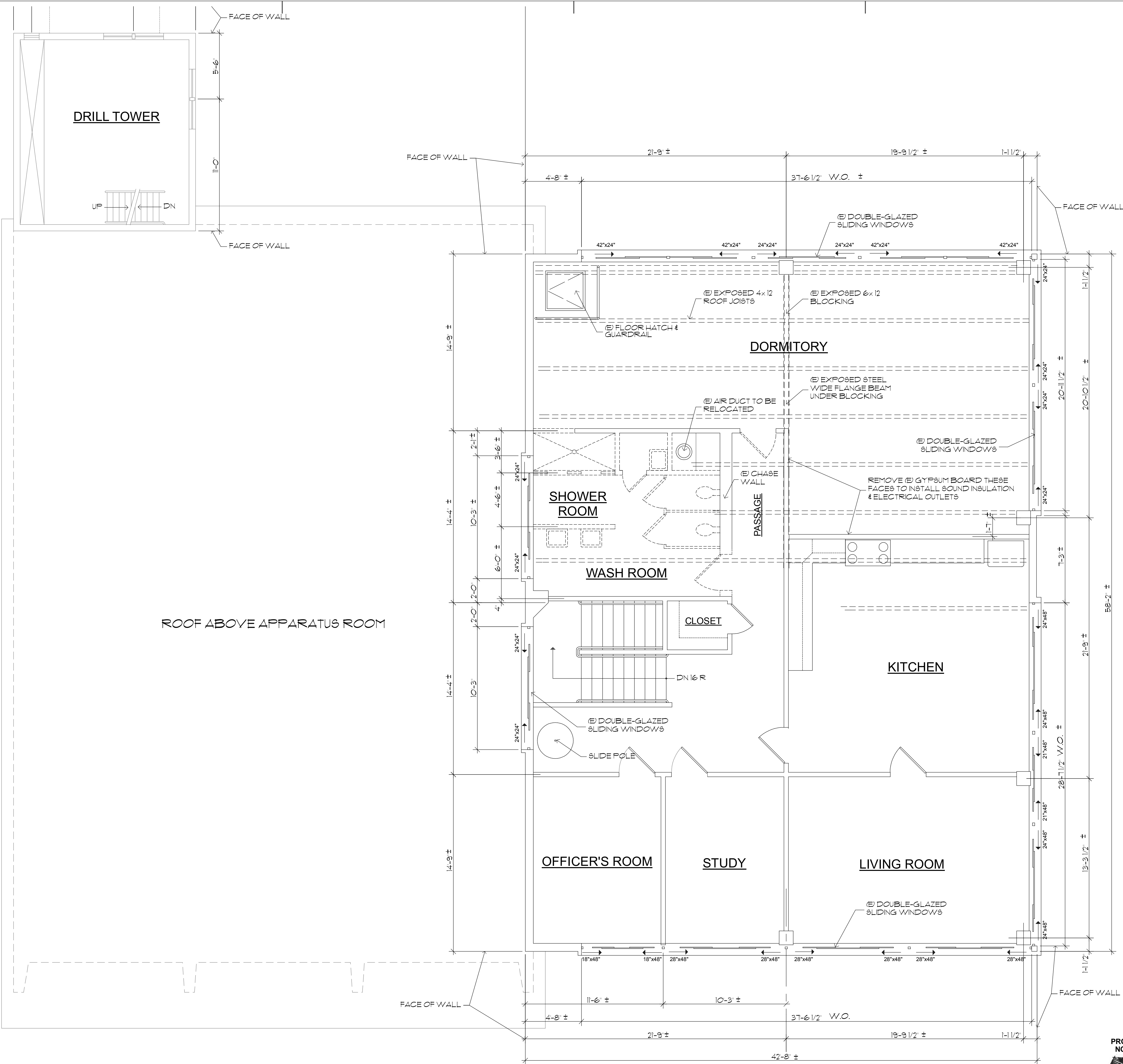
(E) Second Floor Plan

SCALE: AS NOTED  
DATE: 22 May 2009  
FILE: 0807CD

SHEET NUMBER:

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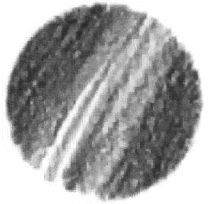
EXISTING SECOND FLOOR PLAN / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:







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SHEET NOTES

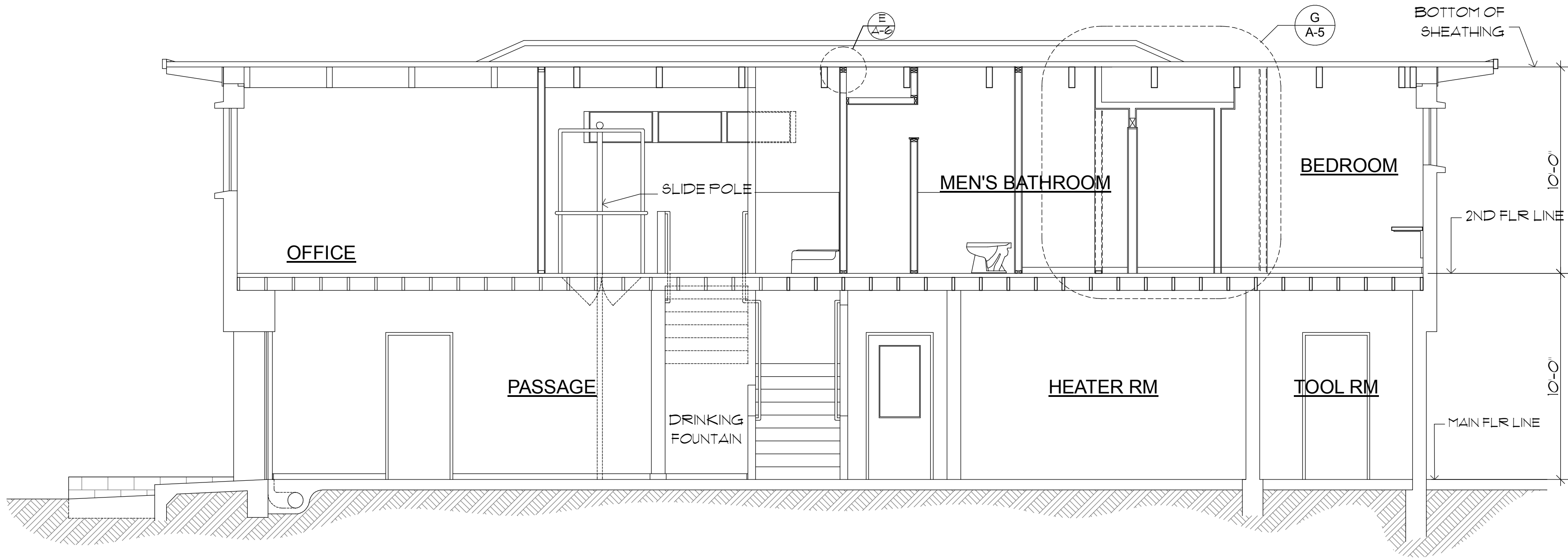
NAILING SCHEDULE

ALL NAILS ARE "COMMON." DO NOT USE BOX NAILS

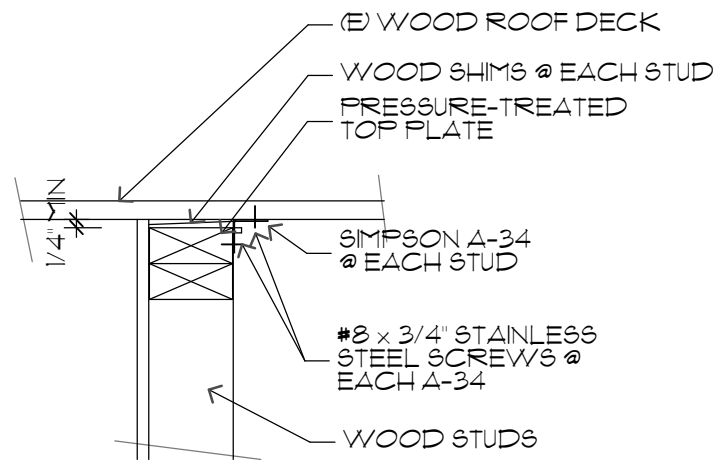
TN: TOENAIL, COMMON      FN: FACE NAIL, COMMON  
EN: END NAIL, COMMON      UNO: UNLESS NOTED OTHERWISE  
CR: CORROSION-RESISTANT (GALVANIZED)

GENERAL FRAMING	nail diameter	
JOIST TO SILL OR GIRDER, TN	3 - 8d	0.131"
BRIDGING TO JOIST, TN EACH END	2 - 8d	0.131"
2x SOLID BLOCKING, TN	2 - 16d	0.162"
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FN	2 - 16d	0.162"
SOLE PLATE TO JOIST OR BLOCKING, FN	16d @ 16" oc	0.162"
SOLE PLATE TO STUD, EN	2 - 16d	0.162"
SOLE PLATE TO STUD, TN	4 - 8d	0.131"
STUD TO TOP PLATE, EN	2 - 16d	0.162"
TOP PLATES SPIKED TOGETHER, FN	16d @ 16" oc	0.162"
TOP PLATE SPLICES (48" LAP), FN	8 - 16d	0.162"
TOP PLATE LAPS @ INTERSECTIONS, FN	2 - 16d	0.162"
DOUBLE STUDS, FN	16d @ 24" oc	0.162"
2x BLOCKING @ STUDS, EN	2 - 16d	0.162"
CORNER STUDS AND ANGLES, FN	16d @ 24" oc	0.162"
CONTINUOUS HEADER, TWO PIECES, FN	16d @ 16"	0.162"
TOP & BOTTOM EDGES, STAGGERED @ ENDS & SPLICES	2 - 16	0.162"
BUILT-UP GIRDER AND BEAMS, FN		
TOP & BOTTOM EDGES, STAGGERED @ ENDS & SPLICES	20d @ 32"	0.192"
CEILING JOISTS TO PLATE, TN	2 - 20d	0.192"
CONTINUOUS HEADER TO STUD, EN	3 - 8d	0.131"
CEILING JOISTS, LAP OVER PARTITIONS, FN	4 - 8d	0.131"
CEILING JOISTS TO PARALLEL RAFTERS, FN	3 - 16d	0.162"
RAFTER TO PLATE, TN	3 - 16d	0.162"
2" PLANKS TO EACH BEARING, FN	3 - 8d	0.131"
PLYWOOD OR PARTICLEBOARD UNDERLAYMENT 3/4" AND LESS, TO FRAMING, FN	2 - 16d	0.162"
7/8" TO 1" TO FRAMING, FN	6d @ 6"	0.113"
PANEL SIDING TO FRAMING 12" OR LESS, FN, CR	8d @ 6"	0.131"
5/8"	6d @ 6"	0.113"
	8d @ 6"	0.131"

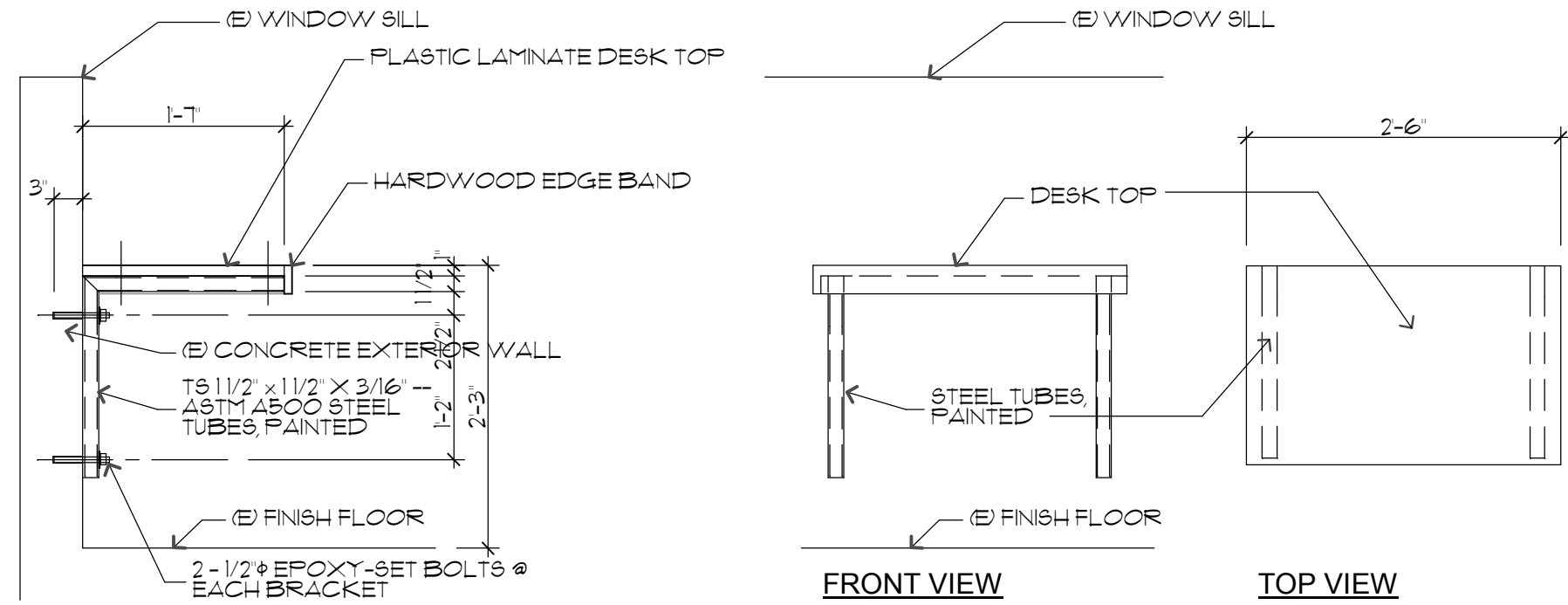
DIAPHRAGM NAILING FOR GYPSUM BOARD, PLYWOOD	EDGES & FIELD	
GYPSUM BOARD WALL COVERING	5d x 1 1/4" COOLER	
	NAILS @ 4" o.c.	
SUBFLOORING, UNO	EDGES: 10d @ 6" oc	0.148"
	FIELD: 10d @ 10" oc	0.148"
WALL SHEATHING	EDGES: 8d @ 6" oc	0.131"
	FIELD: 8d @ 12" oc	0.131"
ROOF SHEATHING	EDGES: 10d @ 6" oc	0.148"
	FIELD: 10d @ 12" oc	0.148"



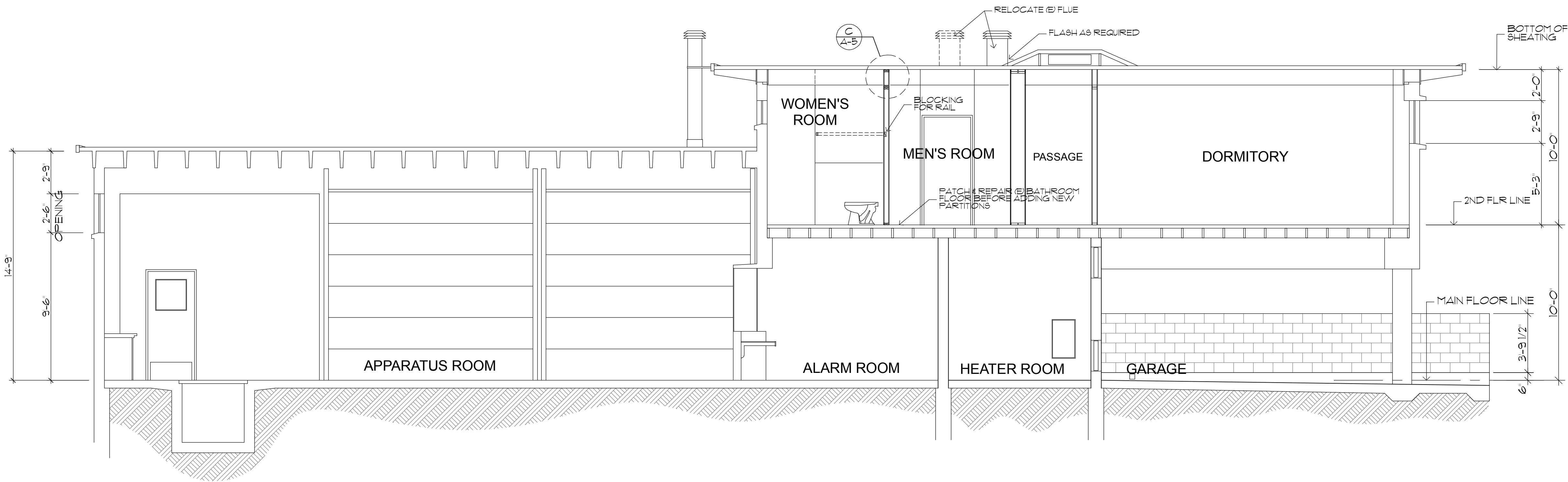
**C** E-W Cross Section  
SCALE: 1/4" = 1'-0"



**E** Partition Head Detail  
SCALE: 1 1/2" = 1'-0"



**F** Desk Details  
SCALE: 3/4" = 1'-0"



**G** N-S Cross Section  
SCALE: 1/4" = 1'-0"

Alterations to  
Fire Station 51

City of  
San Bruno

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REVISIONS	
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PROJECT PHASE	
CONSTRUCTION DOCUMENTS	

SHEET TITLE

Cross Sections

SCALE: AS NOTED  
DATE: 22 May 2009  
FILE: 0801CD

SHEET NUMBER: **A-6** OF 9





C:\AAAA\01 Projects\0807 Station\12-CD\02Pmk Lbk\0807 Sta51 Dom.lbk

LEVITON CORPORATION  
Product Information

PR150-1LA

Leviton Catalog #: PR150-1LA  
Description: 40W/VA Min 500W 400VA Max, 120 Volt AC 60Hz, Single-Pole, 150 Degree, 350 Sq. Ft. Coverage, Decora Passive Infrared Wall Switch Occupancy Sensor, Residential Grade - Almond

RESIDENTIAL GRADE  
PIR Occupancy Sensor  
Wall Switch

Pattern  
150°

Coverage  
350 sq.ft.

Almond

Field of View (in feet)

TOP VIEW

SIDE VIEW

Switch Type: Single-Pole  
Adjustment: Manual  
Sensor Technology: Passive Infrared  
Pattern Degrees: 150  
Coverage Range Sq. Ft.: 350  
Time Adjustment: 15s-15m  
Load Rating: 40W/VA Min 500W 400VA Max  
Voltage: 120 Volt AC 60Hz  
Neutral: Not Required  
Photo Cell: Ambient Override ON  
Color: Almond  
Standards and Certifications: UL/CSA  
Warranty: 2-Year Limited

Occupancy Sensor

① ROOF JOISTS  
② PLYWOOD ROOF SHEATHING  
③ LAG SCREWS  
④ METAL SHIM AS REQUIRED  
⑤ EACH SCREW  
⑥ JUNCTION BOX  
⑦ BX CABLE  
⑧ SCHEDULED FIXTURE

Fixture Mounting Detail

SCALE: 3/4" = 1'-0"

L-8

Not used

1. SEE FLOOR PLAN FOR SPECIAL NOTE REGARDING EMERGENCY OPERATION OF THESE FIXTURES.

2. STEM-MOUNT THIS FIXTURE TO 8'-0" ABOVE FINISH FLOOR.

3. FANTECH PBV EXPANSION GRILLE(S) WITH 4" DUCT.

**SWITCH TYPES:**  
(See Electrical Plan for switch locations and special designations. Provide appropriate switch boxes.)

T = Toggle  
TMR = Timer

D = Dimmer -- Leviton Decora Slide Dimmer  
PC = Photocell

C = Combination -- Leviton Decora 3 Combination  
M-O = Manual-on

**FIXTURE TYPES:**

I = Incandescent

F = Fluorescent

CF = Compact Fluorescent

MH = Metal Halide

LV = Low voltage

SECOND FLOOR ELECTRICAL PLAN -- ALTERATIONS  
SCALE: 1/4" = 1'-0"

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REGISTERED ARCHITECT  
ROBERT S. GEORGE  
C-9370  
Renew 2/28/11  
STATE OF CALIFORNIA

SHEET NOTES

**ELECTRICAL SYMBOLS**

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
⊙	OUTLET RECEPTACLE	18" A.F.F.
⊙42°	OUTLET RECEPTACLE ABOVE COUNTER	42" A.F.F.
⊙2FC	GROUND FAULT CIRCUIT INTERRUPTER	15" A.F.F.
⊙WP1GFCI	EXTERIOR OUTLET RECEPTACLE	15" A.F.F.
⊙AFCI	AFCI FAULT CIRCUIT INTERRUPTER	15" A.F.F.
⊙XXXX	DEDICATED EQUIPMENT CONNECTION	15" A.F.F.
⊙SD	DEDICATED GROUND/NEUTRAL CONNECTION	15" A.F.F.
⊙SD	2-DUPLEX RECEPTACLES - ONE 30-AMP OR 50-AMP STRIP	15" A.F.F.
⊙M3	MULTI-OUTLET STRIP RECEPTACLE	15" A.F.F.
⊙	SURFACE MOUNTED CEILING FIXTURE	AS NOTED
⊙	RECESSED CEILING FIXTURE	AS NOTED
⊙B	FLUORESCENT LUMINAIRE	AS NOTED
⊙	STRIP FLUORESCENT FIXTURE	AS NOTED
⊙L3	PENDANT FIXTURE	AS NOTED
⊙S	WALL MOUNTED FIXTURE	72" A.F.F.
⊙L3	TRACK LIGHT SYSTEM	AS NOTED
⊙	Ⓜ FIXTURE TO BE REMOVED	AS NOTED
⊙	FAULIGHT COMBINATION	AS NOTED
⊙	EXIT LIGHT	72" A.F.F.
⊙	EMERGENCY LIGHT	72" A.F.F.
S	SINGLE POLE SWITCH	48" A.F.F.
S <sub>3</sub>	LIGHT SWITCH WITH DIMMER	48" A.F.F.
S <sub>3</sub>	THREE-WAY SWITCH	48" A.F.F.
S <sub>30</sub>	OCCUPANCY SENSOR	48" A.F.F.
S <sub>3</sub>	GARAGE DOOR OPERATOR SWITCH	48" A.F.F.
S <sub>3</sub>	LANDSCAPE IRRIGATION SYSTEM OPERATOR	48" A.F.F.
S <sub>3C</sub>	PHOTOCELL SWITCH	AS NOTED
T <sub>3MR</sub>	TIMER SWITCH	AS NOTED
⊙	TELEPHONE OUTLET	15" A.F.F.
⊙IT	INTERNET CABLE CONNECTION	15" A.F.F.
⊙CPS	CABLE PATCH BOX	15" A.F.F.
⊙TV	CABLE TELEVISION OUTLET	15" A.F.F.
⊙TSTAT	THERMOSTAT	60" A.F.F.
⊙	CEILING MOUNTED SMOKE DETECTOR - HARDWIRED	AS NOTED
⊙	WALL MOUNTED SMOKE DETECTOR - HARDWIRED	AS NOTED
⊙	RECESSED CIRCUIT BREAKER PANEL	AS NOTED
⊙	SURFACE MOUNTED CIRCUIT BREAKER PANEL	AS NOTED

Alterations to Fire Station 51

City of San Bruno

555 El Camino Real  
San Bruno CA 94066

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REVISIONS

DESCRIPTION	DATE
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PROJECT PHASE

CONSTRUCTION DOCUMENTS

SHEET TITLE

Electrical Plan & Details

SCALE: AS NOTED  
DATE: 22 May 2009  
FILE: 0801CD

SHEET NUMBER: **A-8** OF 9



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SPECIFICATIONS

DIVISION 2 - SITEWORK

A. DEMOLITION

- CONTRACTOR SHALL FURNISH LABOR AND EQUIPMENT NEEDED TO DEMOLISH EXISTING PARTITIONS, FIXTURES AND OTHER EXISTING FEATURES AND SYSTEMS REQUIRED BY THIS WORK.
- CONTRACTOR SHALL PROMPTLY REMOVE ALL DEBRIS GENERATED BY DEMOLITION WORK.
- PRIOR TO DEMOLITION WORK, CONTRACTOR SHALL COORDINATE TRADES (ELECTRICAL, MECHANICAL, PLUMBING, ETC.) IN ORDER TO CONFIRM EXACT EXTENT OF DEMOLITION WORK TO BE PERFORMED.
- EXISTING ITEMS DEEMED SALVAGEABLE BY OWNER WILL BE MARKED ON PREMISES BY OWNER AND SHALL REMAIN PROPERTY OF OWNER. THESE ITEMS WILL EITHER BE REMOVED BY OWNER PRIOR TO START OF DEMOLITION WORK OR SHALL BE REMOVED AND STORED ON SITE BY CONTRACTOR AS DIRECTED BY OWNER. ITEMS TO BE RELOCATED OR REUSED IN THIS PROJECT ARE IDENTIFIED ON DRAWINGS, AND THEY ARE TO BE PROTECTED FOR THEIR SCHEDULED REUSE.
- REFER TO THESE DRAWINGS, SPECIFICATIONS AND SCHEDULES FOR INTERFACES BETWEEN NEW AND EXISTING WORK. COORDINATE DEMOLITION AS NECESSARY.

B. EXCAVATION AND COMPACTION

- NONE.

DIVISION 3 - CONCRETE

A. NONE.

DIVISION 4 – MASONRY

NONE

DIVISION 5 - METALS

A. NONE.

DIVISION 6 - CARPENTRY AND MILLWORK

- LUMBER: BEAMS, POSTS, GIRDERS, HEADERS AND JOISTS SHALL BE NO. 1 GRADE DOUGLAS FIR-LARCH OR BETTER. STUDS AND BLOCKING SHALL BE NO. 2 GRADE DOUGLAS FIR-LARCH OR BETTER, UNLESS NOTED OTHERWISE IN THESE DOCUMENTS.
- POSTS: MINIMUM 4x4 UNLESS NOTED OTHERWISE ON THE DRAWINGS. POSTS SHALL BE AS WIDE AS MEMBER BEING SUPPORTED. PROVIDE METAL POST-TO-BEAM CONNECTORS SIZED TO SUIT THE MEMBERS BEING JOINED.
- SOLE PLATES AND OTHER WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED DOUGLAS FIR.
- STUD WALLS AND PARTITIONS: DOUBLE TOP PLATES WITH 48-INCH LAP SPLICES. SEE DRAWINGS FOR DETAIL OF STRAP TIES REQUIRED WHEN PLATE IS INTERRUPTED.
- STUD SPACING: 16 INCHES ON CENTERS UNLESS NOTED OTHERWISE.
- CRIPPLES: MINIMUM CRIPPLE LENGTH IN STUD WALLS SHALL BE 14 INCHES. BLOCK SOLID IF SPACE FOR CRIPPLES IS LESS THAN 14 INCHES. EXCEPTION: CRIPPLES ABOVE AND BELOW WINDOWS, DOORS AND FRAMED MECHANICAL SYSTEM OR VENT OPENINGS.
- OPENINGS IN FRAMING: FRAMING FOR MECHANICAL AND ELECTRICAL SYSTEMS, EQUIPMENT AND ACCESS SHALL MAINTAIN STRUCTURAL INTEGRITY AND CONNECTION COMPATIBILITY OF THE WOOD FRAMING SYSTEM. NO CUTTING, SPLICING, NOTCHING OR RABBETING THAT COMPROMISES THE STRUCTURAL INTEGRITY OF A WOOD MEMBER OR OF THE FRAMING SYSTEM WILL BE ACCEPTED. CONSULT WITH THE ARCHITECT BEFORE FRAMING AN OPENING IN THE WOOD FRAMING SYSTEM NOT SHOWN ON THESE DRAWINGS.
- METAL FRAMING ANCHORS: INSTALL THE SIZE AND QUANTITY OF NAILS OR BOLTS INTENDED BY ANCHOR MANUFACTURER FOR EACH FRAMING DEVICE. FRAMING ANCHORS SHALL BE GALVANIZED. NUMBERS SHOWN ON DRAWINGS ARE TAKEN FROM THE CURRENT "SIMPSON STRONG-TIE" CATALOG. CONTRACTOR SHALL VERIFY JOIST HANGER IDENTIFICATION WITH JOIST AND HANGER MANUFACTURER BEFORE ORDERING.
- STRUCTURAL WOOD PANEL SHEATHING: PROVIDE CDX OR ORIENTED STRAND BOARD (OSB) FOR SHEATHING WALLS, FLOORS AND ROOF IN THE THICKNESS SHOWN ON DRAWINGS. BLOCK AND DIAPHRAGM-NAIL SHEATHING AS INDICATED IN NAILING SCHEDULE.
- NAILING: SEE NAILING SCHEDULE.
- DOOR TRIM:
  - FACTORY PRIMED PROFILES MATCHING EXISTING INTERIOR DOORS.

DIVISION 7 - INSULATION AND MOISTURE PROTECTION

A. FIBERGLASS CEILING INSULATION:

- MANUFACTURER: OWENS CORNING.
- PRODUCT: FLAME SPREAD 25 FIBERGLAS INSULATION BATTS
- FACING: WHITE, LIGHT REFLECTIVE PSK POLYPROPYLENE-SCRIM-KRAFT
- FORMADEHYDE-FREE FIBERGLASS BATTS 6" THICK x 44" WIDE x LONGEST LENGTH PRACTICAL TO FIT BETWEEN EXISTING ROOF JOISTS.
- INSTALLATION: FRICTION FIT BETWEEN JOISTS.
- STANDARDS: ASTM E 136, ASTM D 665, TYPE II, CLASS A.
- INSTALL BATTS TO CLEAR ELECTRICAL OUTLETS AND SIMILAR HEAT-GENERATING DEVICES BY A MINIMUM OF 3 INCHES.

B. FIBERGLASS SOUND ATTENUATION INSULATION:

- MANUFACTURER: CERTANTEED.
- PRODUCT: CERTAPRO "ACOUSTATHERM" BATTS
- FORMADEHYDE-FREE UNFACED FIBERGLASS BATTS 2½" THICK
- FRICTION FIT BETWEEN STUDS AND JOSTS.
- STANDARDS: ASTM E 136, ASTM C 665, TYPE I
- INSTALL BATTS TO CLEAR ELECTRICAL OUTLETS AND SIMILAR HEAT-GENERATING DEVICES BY A MINIMUM OF 3 INCHES.

C. ACOUSTIC SEALANT

- MANUFACTURER: TREMCO.
- PRODUCT: ACRYLIC LATEX, GUN GRADE, PAINTABLE. "TREMCO" ACRYLIC LATEX, OR EQUAL
- INSTALL AS FOLLOWS:
  - AT INTERSECTIONS BETWEEN DRWall PARTITIONS AND EXISTING STRUCTURAL COLUMNS AND ALUMINUM WINDOW SASH MEMBERS. SEE DETAIL IN DRAWINGS.
  - OTHER CRACKS AND ANNUAL RING GAPS THAT COULD PERMIT SOUND PENETRATION THROUGH PARTITIONS.

D. ROOFING SYSTEM:

- EXISTING CLASS "A" BUILT-UP TAR & GRAVEL.
- PATCH AND REPAIR AROUND NEW PENETRATIONS FOR EXHAUST EQUIPMENT SCHEDULED IN THIS PROJECT.

DIVISION 8 - DOORS, WINDOWS & GLASS

A. WOOD DOORS AND FRAMES:

- FLUSH SOLID CORE WOOD DOORS.
- DOORS PRE-HUNG IN FINGER-JOINTED WHITE PINE FRAMES FACTORY-PRIMED FOR PAINTING.
- SEE DRAWINGS FOR ELEVATIONS AND TYPE.
- DOOR HARDWARE: SEE DOOR SCHEDULE FOR HARDWARE REQUIREMENTS.

- INSTALL DOORS AND FRAMES IN ROUGH OPENINGS BEFORE APPLYING DRYWALL OR OTHER SCHEDULED FINISH. USE WOOD SHIM PAIRS TO PLUMB, SQUARE AND TRUE EACH DOOR FRAME, AND ANCHOR EACH FRAME WITH FINISHING NAILS THROUGH EACH SHIM PAIR.

DIVISION 9 - FINISHES

A. DRYWALL PARTITIONS AND CEILINGS:

- MANUFACTURER: USG
- PRODUCT: 1/2-INCH GYPSUM BOARD ("SHEETROCK") COMPLYING WITH CBC CHAPTER 25.
- INSTALLATION: PANELS SHALL BE SCREWED TO STUDS AS REQUIRED IN NAIL SCHEDULE. AND JOINTS SHALL BE TAPED. TEXTURE TO MATCH EXISTING ADJACENT SURFACES.

B. WATER-RESISTANT GYPSUM BOARD:

- MANUFACTURER: USG.
- PRODUCT: ½-INCH FIBEROCK "AQUA TOUGH."
- SEE INTERIOR ELEVATIONS FOR LOCATIONS.
- INSTALLATION: SCREWED TO STUDS, TAPED AND TEXTURED TO MATCH ADJACENT SURFACES.

C. WATER-RESISTANT WAINSCOT:

- FRP PANELS ADHESIVELY APPLIED TO DRYWALL.
- MANUFACTURER: KEMLEIT
- PRODUCT: FIRE-X GLASSBOARD
- CLASS A FIRE RATED COMPLYING WITH ASTM E-84.
- PROVIDE MANUFACTURER'S STANDARD BATTEN AND TRIM SECTIONS.
- COLOR: WHITE

- PAINTING, INTERIOR: NEW INTERIOR SURFACES ARE TO BE PRIMED AND PAINTED. APPLY PRIMERS, SEALERS AND PAINTS AS RECOMMENDED BY MANUFACTURERS. SEE PAINT AND COLOR SCHEDULES AND INTERIOR ELEVATIONS FOR DESCRIPTION OF PAINT SYSTEMS AT SPECIFIC LOCATIONS.

DIVISIONS 10 - 14

NO REQUIREMENTS

DIVISION 15 - MECHANICAL SYSTEMS

- SPECIAL CODE REFERENCE: CALIFORNIA ENERGY COMMISSION REGULATIONS FOR COMMERCIAL OCCUPANCY. ALL ADDITIONS AND ALTERATIONS TO THIS EXISTING SYSTEM SHALL COMPLY WITH THIS CODE AND TO THE CODES REFERENCED ON SHEET A-1.

B. HEATING SYSTEM:

- CONTRACTOR SHALL EVALUATE CAPACITY OF EXISTING HEATING SYSTEM. FURNACE AND DUCTWORK DISTRIBUTION SYSTEM BASED ON TITLE 24 FORMS INCLUDED IN THESE DRAWINGS.
- CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES TO MODIFY EXISTING HEAT DISTRIBUTION SYSTEM.
- CONTRACTOR SHALL SIZE, SELECT, INSTALL AND CONNECT REQUIRED DUCTWORK AND RELATED GRILLES TO THE EXISTING HEAT DISTRIBUTION SYSTEM.
- RELOCATE EXISTING RISER TO PROVIDE SPACE FOR NEW SHOWER IN MEN'S BATHROOM.

C. EXHAUST SYSTEM:

- SCOPE OF EXHAUST SYSTEM ALTERATIONS.
  - NEW BATHROOMS: SEE LIGHT FIXTURE SCHEDULE FOR IN-LINE FAN SYSTEMS.

D. PLUMBING SYSTEM:

- SCOPE OF PLUMBING SYSTEM ALTERATIONS.
  - NEW BATHROOMS WITH TOILETS, URINAL, LAVATORIES AND SHOWERS.
  - ONE SERVICE SINK
- SEE EXISTING FLOOR PLANS IN DRAWINGS FOR LOCATIONS OF EXISTING PLUMBING FIXTURES TO BE REMOVED.
- CONTRACTOR SHALL EVALUATE EXISTING ROUGH PLUMBING SYSTEM FOR EXTENSIONS AND ALTERATIONS NEEDED TO ACCOMMODATE THE REVISIONS DESCRIBED IN THESE DRAWINGS.
- SEE PLUMBING FIXTURE SCHEDULE FOR LOCATIONS AND SPECIFICATIONS OF ITEMS LISTED IN SCOPE.

DIVISION 16 - ELECTRICAL SYSTEMS

- CONTRACTOR SHALL SELECT AND PROVIDE REQUIRED WIRE, WIRING DEVICES, OUTLETS, CONDUIT (WHERE REQUIRED), CIRCUIT BREAKERS, LIGHT FIXTURES AND OTHER COMPONENTS.
- EXTEND EACH CIRCUIT INTO ONE CIRCUIT BREAKER PANEL BOARD AT LOCATION SHOWN.
- POWER CIRCUITS:

- ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES SHALL BE LOCATED AS SHOWN ON THESE DRAWINGS.
- PROVIDE POWER CIRCUITS TO SPECIAL PROJECT EQUIPMENT ITEMS REQUIRING ELECTRICAL SERVICE INCLUDING BATHROOM EXHAUST FANS. COORDINATE WITH ITEM MANUFACTURERS AND ARCHITECTURAL ELEVATIONS FOR FINAL LOCATIONS OF THESE ITEMS.

I. LIGHTING:

- LOCATIONS OF LIGHT FIXTURES ARE SHOWN ON DRAWINGS.
- SEE LIGHT FIXTURE SCHEDULE FOR FIXTURES TO BE INSTALLED AT EACH LOCATION.
- SEE NOTE ON ELECTRICAL PLAN REQUIRING EMERGENCY LIGHTING REQUIREMENTS IN BEDROOMS AND CORRIDORS.

J. SPECIAL SERVICES:

- WIRELESS DATA SERVICE: EXTEND EXISTING CABLE THROUGH NEW PARTITION FRAMING TO LOCATION OF ROUTER SHOWN ON ELECTRICAL PLAN.
- CABLE TELEVISION: PROVIDE CONDUIT AND FISH WIRE FOR FUTURE SERVICE AS DIRECTED BY OWNER.
- SECURITY: PROVIDE FOR FUTURE SERVICE AS DIRECTED BY OWNER.

K. SMOKE DETECTORS:

- PROVIDE IN LOCATIONS AS REQUIRED BY CBC SECTION 1210(A) AND CBC STANDARD 43-6
- DETECTORS SHALL BE "HARD WIRED" TO ELECTRICAL SYSTEM.
- SEE DRAWINGS FOR LOCATION OF SMOKE DETECTORS.

L. LOUDSPEAKERS:

- LOUDSPEAKERS: TO BE FURNISHED BY THE CITY.
- INSTALL SPEAKERS AS HIGH AS PRACTICAL ON PARTITIONS WHERE SHOWN. CONNECT TO THE EXISTING AMPLIFIER IN THE ALARM ROOM ON THE GROUND FLOOR.
- CONCEAL WIRING THROUGH NEW PARTITION FRAMING AND EXISTING FLOOR-CEILING CONSTRUCTION TO THE ALARM ROOM.
- TEST INSTALLED SYSTEM IN THE PRESENCE OF CITY OFFICIALS UNTIL APPROVED.

END OF SPECIFICATIONS

PLUMBING FIXTURE SCHEDULE

0807.0							
FIXT. NO.	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	COLOR	FITTINGS	Conn. Mark	REMARKS
P-1	Wall-mounted Lavatory	Kohler Chesapeake	K-172B	White	K-11075 Archer	A	4" centerset
P-2	Toilet, flush valve	Kohler Highlift	K-4369-B	White	Sloan Royal 100-series	C	1.6 gpf; K-4670-CA seat
P-3	Wall-mounted Urinal	Kohler Bardon	K-4960 ET	White	Sloan Royal 180-series	E	0.5 gpf; ¾" top spud
P-4	Shower	Kohler Mergaux	K-T16234	Chrome		F	2.5 gpm with Rite-Temp Pressura-balancing valve
P-5	Service Sink	Kohler Whiteby	K-6710	White	K-8907 Knick	L	Cast iron
P-6	Floor Drain	Zum	FD-2201			P	2" x 3" ABS
P-7	Not used						
P-8	Not used						

Fixture Connection Schedule						
Mark	Fixture	Hot Water	Cold Water	Gas	Waste	Vent
A	Lavatory	½"	½"		2"	1 ½"
B	Water Closet – tank type	½"			4"	2"
C	Water Closet – flush valve	¾"			4"	2"
D	Tub & Shower	½"	½"		2"	1 ½"
E	Urinal		¾"		2"	
F	Shower	½"	½"		2"	1 ½"
G	Washer	½"	½"		2"	1 ½"
H	Kitchen Sink	½"	½"		2"	1 ½"
I	Hand Sink	½"	½"		2"	1 ½"
J	Party Sink	½"	½"		2"	1 ½"
K	Laundry Tray	½"	½"		2"	1 ½"
L	Service Sink	½"	½"		2"	1 ½"
M	Water Heater	¾"	¾"	¾"		
N	Drinking Fountain	½"	½"		2"	1 ½"
O	Hose Bibb	½"				
P	Floor Drain				2"	

ROOM FINISH SCHEDULE

0807.0										
Room Name	Floor	Notes	Base	Walls North	East	South	West	Notes	Ceiling	Notes
Passage	Existing concrete	2	4" vinyl	Gypsum bd. (2)	Gypsum bd. (2)	Gypsum bd. (2)	Gypsum bd. (2)	2	Existing wood Framing & deck	
Corridor	Carpet		4" vinyl	5/8" Type "X" gypsum bd.	5/8" Type "X" gypsum bd.	5/8" Type "X" gypsum bd.	5/8" Type "X" gypsum bd.		5/8" Type "X" gypsum bd.	
D4 Room	Carpet		4" vinyl	½" gypsum bd.	½" gypsum bd.	Existing	Existing	2	Existing	
Bedroom 1	Carpet		4" vinyl	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.		Existing	
Bedroom 2	Carpet		4" vinyl	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.		Existing	
Bedroom 8	Carpet		4" vinyl	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.		Existing	
Bedroom 4	Carpet		4" vinyl		Stone wainscot; ½" gypsum bd.	Stone wainscot; ½" gypsum bd.	Stone wainscot; ½" gypsum bd.		Existing	
Bedroom 5	Carpet		4" vinyl	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.		Existing	
Storage	Existing concrete	2	4" vinyl	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.	½" gypsum bd.		Existing	
Women's Bathroom	Existing terrazzo	2	Wainscot + 4" vinyl	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	Existing (2)	½" fiberglass gypsum bd. + wainscot	2	Existing	7, 9
Shower alcove	Existing terrazzo	2	Wainscot + 4" vinyl	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	½" fiberglass gyp. board	½" fiberglass gyp. board		½" fiberglass gyp. board	7, 9
Men's Bathroom	Existing terrazzo	2	Wainscot + 4" vinyl	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	½" fiberglass gyp. board	½" fiberglass gyp. board		Existing	7, 9
Shower alcove	Existing terrazzo	2	Wainscot	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	½" fiberglass gyp. board	½" fiberglass gyp. board		½" fiberglass gyp. board	7, 9
Service Closet	Existing concrete		Wainscot + 4" vinyl	Existing (2)	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	½" fiberglass gypsum bd. + wainscot	2	Existing	2, 7, 9

Notes:

- Match existing
- Patch and repair existing to match adjacent surfaces.
- Panel joints "line taped"
- See Nailing Schedule for nailing requirements.
- Glass backer board over waterproof membrane behind or under tile; see Interior Elevations.
- Mortar and grout: "Keraoxy" 100% solids, water cleanable, epoxy mortar as manufactured by Mapei and complying with ANSI 118.3.
- Fiberglass-faced gypsum board. See Specifications.
- Apply over scheduled plywood shear paneling; see Framing plan.
- See Interior Elevations for additional interior finish information.

DOOR SCHEDULE

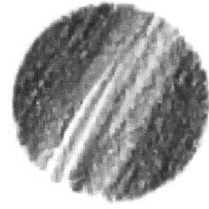
No.	Elav.	Sgr.	Pr.	Dimensions	Thick.	Material	Finish	HW	Notes
SECOND FLOOR									
D01	B	●		3'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D02	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D03	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D04	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	G	
D05	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	G	
D06	B	●		2'-4" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D07	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	G	
D08	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	G	
D09	B	●		2'-4" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D10	B	●		2'-4" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D11	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D12	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	F	
D13	B	●		2'-0" x 7'-0"	1 ½"	SG WOOD	TRANS	G	

HARDWARE

- 1 pair 3½" x 3½" FM bolts, latchset (both USA finish)
- 2 pair 3½" x 3½" FM bolts, latchset (both USA finish)
- 1 pair 3½" x 3½" FM bolts, bathroom lockset (both USA finish)
- 1 bearing, 2 spring-loaded 3½x20½" FM bolts, lockset both US&I, aluminum threshold
- 3 pair 3½" x 3½" FM bolts, latchset (both USA finish)
- 1½ pair 4" x 4" FM bolts, lever-handled lockset (both USA finish)
- 1 pair spring-loaded 4" x 4" FM bolts + 1 4½" FM bolt, lever-handled latchset; USA finish on each
- 3 pair 4" x 4" FM bolts, lockset (both USA finish), red oak threshold, weatherstrip
- Concealed sliding track, floor grille.
- Hinges, latch per manufacturer
- Tricks, electric operator by manufacturer

NOTES

- Existing to remain
- Existing to be replaced
- Undercut door 1" maximum.
- Minor-diel sliding metal doors per USC Sec. 2405
- Clear safety glazing per USC Sec. 2405
- Sectional roll-up with electric automatic door opener
- 20-minute fire rating
- Classed opening suitable for future door.



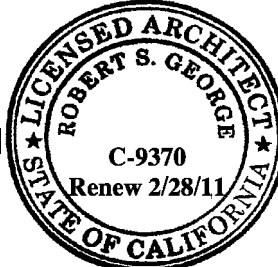
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SHEET NOTES

Alterations to  
Fire Station 51

City of  
San Bruno

555 El Camino Real  
San Bruno CA 94066

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REVISIONS

DESCRIPTION	DATE
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PROJECT PHASE

CONSTRUCTION DOCUMENTS

SHEET TITLE

Specifications & Schedules

SCALE: AS NOTED

DATE: 22 May 2009

FILE: 0807CD

SHEET NUMBER:

A-9

OF 9